



Jen Simon <jen@fora.org>

For public comment for April 30 meeting.

1 message

Sid Williams <csm_ret@comcast.net>
To: board@fora.org

Wed, Apr 29, 2020 at 1:32 PM

Please include this email for the public comment for items not on the agenda for the April 30 meeting.

If you will remember the last time I spoke to you in March I asked for your consideration of support for the local veteran community by providing funds to help Monterey County provide a new ombudsman position in the County Military and Veterans Affairs Office.

Mayor Oglesby suggested that you provide support in an amount of approximately \$100,000 to fund this new position for one year. During discussion of the item Supervisor Mary Adams requested an amount of approximately \$500,000 to fund that position for 5 years.

Mr. Jason Cameron, the current County Military and Veteran Affairs Officer has submitted a request asking for approximately \$300,000 to fund the position for 3 years.

All three of these requests indicate that there is support for providing assistance to smoothly transition the support for the veteran community from FORA to Monterey County. The discussion seems to be about amount. Given the current economic situation, I believe that the compromise position offered by Mr. Cameron would make logical sense. When this question comes before you for decision it will be FORA's last opportunity to help the community who provided the venue for FORA to exist and to provide the regional capacity for Ft. Ord's reuse. This would seem to be a most worthy opportunity for FORA's Board to do something to provide assistance with gaining and protecting services for the county's veterans while demonstrating support to the veterans residing in their municipalities.

Thank you in advance for your consideration.

Sid Williams
Marina



Jen Simon <jen@fora.org>

ALF proposal for Cypress Knolls - FORA

1 message

'Dan Alweiss' via Board Correspondences <BoardEmails@fora.org>

Mon, Apr 20, 2020 at 8:27 PM

Reply-To: Dan Alweiss <dan_alweiss@yahoo.com>

To: josh@fora.org, Info@fora.org, Board@fora.org

Cc: llong@cityofmarina.org, adeamaral@cityofmarina.org, gmorton@cityofmarina.org, FOconnell@cityofmarina.org, mlidyoff@cityofmarina.org

Good morning:

My name is Dan Alweiss and I am a full-time attorney, and part-time land developer. In my personal capacity, I am currently developing an assisted living facility (ALF) in the City of Sacramento for low-income seniors. The matter is in the CUP process, and my submissions are in the attached PDFs.

I am interested in the Cypress Knolls area of Marina, and see that it was previously allocated to senior care. As for the above project, I am having some issues with the City and SMUD as relates to their significant encroachments, so the project is stalling a bit.

A cornerstone of my business model is targeting low-income seniors on the Medi-Cal Assisted Living Waiver Program (ALW). I see Monterey County does not participate in that. The ALW program is a primary reason I am developing my project in Sacramento.

I would like to speak or meet a decision-maker to discuss with me potentially doing this project in the Cypress Knolls area. I am not a grand developer and cannot make exciting major project offerings. Plus, senior-care is not particularly sexy. However, I have a small do-able project now, with benchmarks to allow expansion. I have not thoroughly explored this proposal in Marina; I am awaiting a temperature read on FORA's end before I do. I would need to spend a couple of months to fully analyze the area, seniors, demographics, my senior-care expert's opinion, weather patterns, and your soils reports (assuming you have them) before I would commit.

Here are my thoughts:

1. I offer to build the attached project.
2. I offer, and with some political juice from your end, to be the impetus for the County of Monterey to become a participant in the MediCal Waiver Program; and I finance that political push. Assuming the County is on-board, then go to No. 3.
3. You give me prime "starter lots," with open space and garden areas, in the Cypress Knolls area; I pay for demo and removal of all structures on the land.
4. Once an ALF building comes on line and reaches full capacity, all CC&Rs on the land get rescinded; and I get double the land for the next senior facility (ALF, SNF, Senior apartments, phys.rehab facility, hospice, spa, or professional offices) I seek to build. All land in Cypress Knolls remains subject to my right of first refusal as long as I continue to meet benchmarks.
5. I am not interested in building shopping centers, gas stations or the like. Nor am I able to offer you a grand master plan. Right now, all I can offer is the above project.

As far as financing is concerned, I have received strong responses from lenders under the SBA7(a) loan program; and there seems to be strong lending in developing senior facilities.

Please route this email to whomever you believe would be appropriate. Thank you.

--Dan

M: 415-734-7465

2 attachments





CATALONIA PALMS ASSISTED LIVING FACILITY

245 ELEANOR AVE.
SACRAMENTO, CA 95815



PROJECT TEAM

OWNER
DANIEL B. ALWEISS
201 HARRISON ST. #713
SAN FRANCISCO, CA 94105
PHONE:
FAX:

DESIGNER
D&Z STRUCTURAL ENGINEERING, INC.
3389 MIRA LOMA DR. #3
CAMERON PARK, CA 95682
PHONE: (530) 677-0900
FAX: (530) 677-0901
CONTACT:
EMAIL:

STRUCTURAL ENGINEER
D&Z STRUCTURAL ENGINEERING, INC.
3389 MIRA LOMA DR. #3
CAMERON PARK, CA 95682
PHONE: (530) 677-0900
FAX: (530) 677-0901
CONTACT: JIM DILLINGHAM
EMAIL: jdillingham@dz-engineering.com

PROJECT INFORMATION

ADDRESS: 245 ELEANOR AVE.
SACRAMENTO, CA 95815

APN: 263-0110-036-0000

AREA:

GROSS BUILDING AREA:	20,349	S.F.
FIRST FLOOR	4,255	S.F.
SECOND FLOOR	24,604	S.F.
TOTAL GROSS BUILDING AREA	24,604	S.F.
COVERED ENTRY	682	S.F.
COVERED REAR PATIO	484	S.F.

ZONING: R-1/R-1A

OCCUPANCY TYPE: R-2.1

CONSTRUCTION TYPE: III-B

SPRINKLER REQUIREMENT: YES

APPLICABLE CODE:

2016 CALIFORNIA BUILDING CODE, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA GREEN STANDARDS CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA GREEN STANDARDS CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, CALIFORNIA ENERGY CODE, AND CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE AS AMENDED BY THE STATE OF CALIFORNIA AND THE LOCAL JURISDICTION AND THE LATEST VERSION OF ALL OTHER CODES ADOPTED BY THE LOCAL JURISDICTION ARE APPLICABLE TO THIS PROJECT. THIS PROJECT REQUIRES COMPLIANCE WITH THESE CODES.

SHEET INDEX

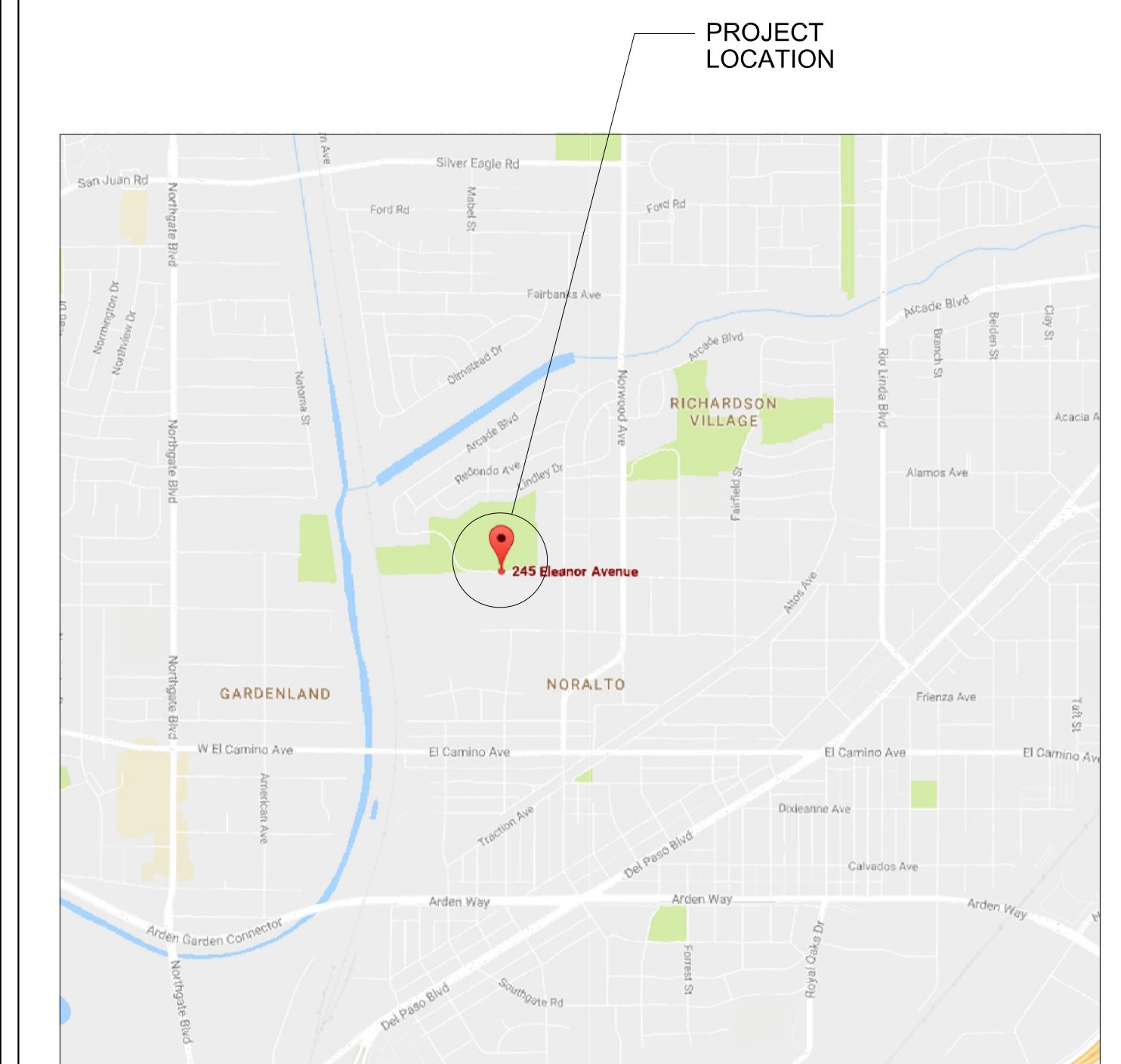
T1 TITLE COVER SHEET
T2 3D VIEWS

C1.1 SITE PLAN

L1.1 LANDSCAPE PLAN
L1.2 PLANT LEGENDS

A2.1A FLOOR PLAN
A2.1B FLOOR PLAN
A2.1C FLOOR PLAN
A2.2 2nd FLOOR PLAN
A2.3 ROOF PLAN
A3.1 ELEVATIONS

VICINITY MAP



Owner
Dan Alweiss

Revisions	By	Date	Description

Designed
JD/AS

Drawn
AS

Date
07/18

Title Cover Sheet

Sheet

T1



Front Entrance Perspective $\frac{A}{T2}$ No Scale



Front Entrance Perspective $\frac{B}{T2}$ No Scale



Rear Patio Perspective $\frac{C}{T2}$ No Scale



Front Perspective from Street $\frac{D}{T2}$ No Scale



Front Entrance Perspective $\frac{E}{T2}$ No Scale

Owner
Dan Alweiss

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AS

Date
07/18

3D Views

Sheet

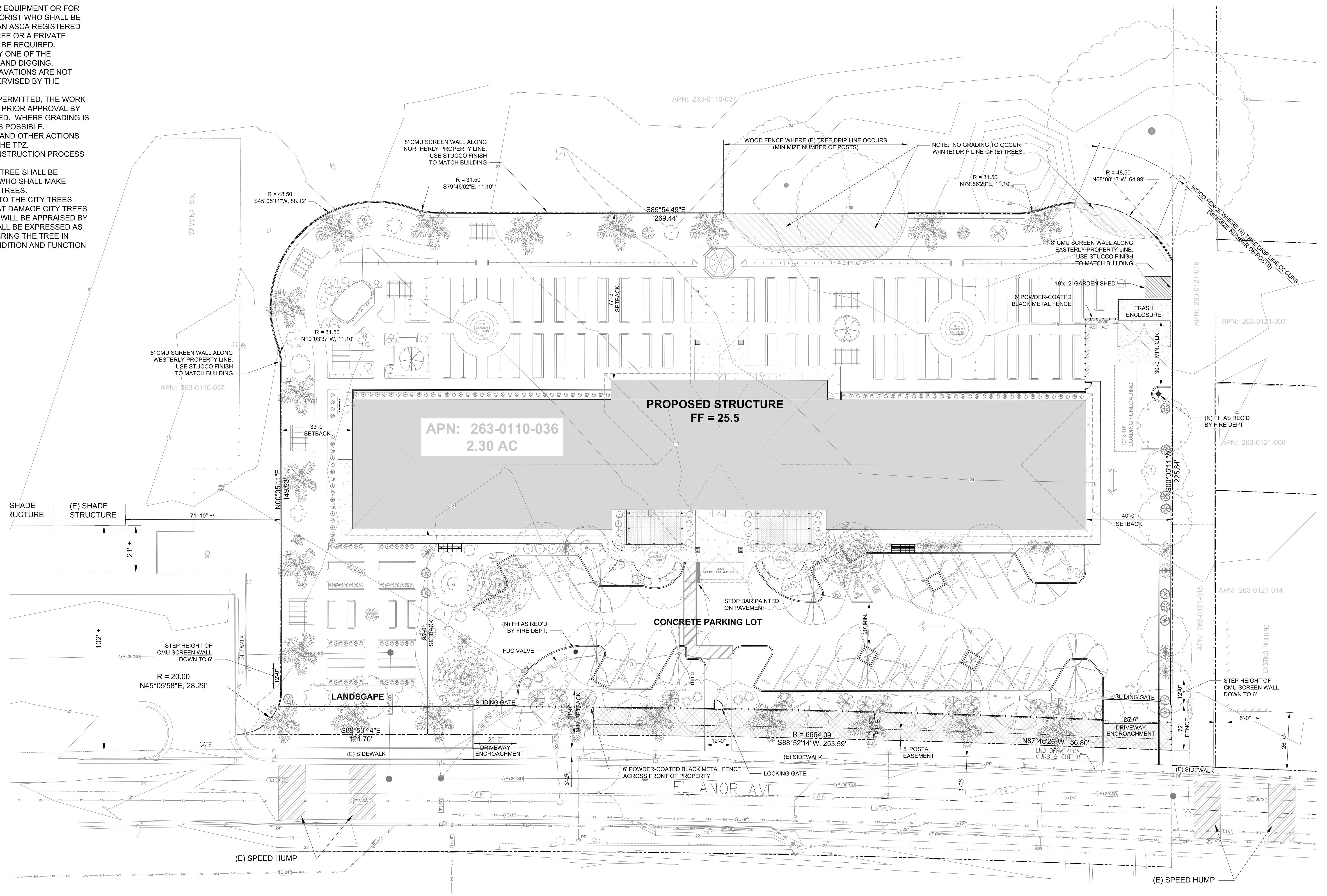
T2

REQUIRED TREE PRESERVATION MEASURES FOR PROTECTED TREES

1. TREES TO BE PRESERVED WITHIN OR ADJACENT TO THE CONSTRUCTION AREA SHALL BE PROTECTED FROM DISTURBANCE PRIOR TO AND THROUGHOUT CONSTRUCTION BY THE FOLLOWING METHODS OR AS APPROVED BY THE CITY ARBORIST:
 - a. PLACING CHAIN LINK FENCING AT THE EDGE OF THE TPZ. MINIMUM FENCING HEIGHT IS 60 INCHES.
 - b. WHEN THE FULL TPZ CANNOT BE ENCLOSED BY CHAIN LINK FENCING, THE APPLICANT SHALL PROVIDE PROTECTION FOR THE TRUNK AND THE SOIL WITHIN THE ROOT ZONE AS APPROVED BY THE CITY ARBORIST. ACCEPTED PRACTICES MAY BE TO WRAP FOAM AROUND THE TRUNK AND SECURING 2X4'S VERTICALLY AROUND ALL SIDES IN ADDITION TO 4-6" OF WOOD CHIP MULCH, 3/4 INCH PLYWOOD OR TRENCH PLATES ON THE GROUND WITHIN THE TPZ.
2. PROTECTION MEASURES SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF THE PROJECT, INCLUDING LANDSCAPE INSTALLATION.
3. ANY NECESSARY TREE PRUNING, INCLUDING PRUNING FOR CLEARANCE FOR EQUIPMENT OR FOR STRUCTURES SHALL BE SUPERVISED OR PERFORMED BY THE PROJECT ARBORIST WHO SHALL BE AN INTERNATIONAL SOCIETY OF ARBORICULTURE CERTIFIED ARBORIST OR AN ASCA REGISTERED CONSULTING ARBORIST. IF THE PRUNING WILL OCCUR ON A CITY STREET TREE OR A PRIVATE PROTECTED TREE, A SEPARATE TREE PERMIT FROM URBAN FORESTRY WILL BE REQUIRED.
4. EXCAVATION, GRADING OR TRENCHING WITHIN THE TPZ TREE SHALL EMPLOY ONE OF THE FOLLOWING METHODS: HYDRO-EXCAVATION, PNEUMATIC EXCAVATION OR HAND DIGGING.
5. GRADING OPERATIONS, INCLUDING CUTS, FILLS, TRENCHING OR OTHER EXCAVATIONS ARE NOT ALLOWED UNLESS SEPARATELY PERMITTED BY URBAN FORESTRY AND SUPERVISED BY THE PROJECT ARBORIST.
6. WHERE GRADING IS NECESSARY WITHIN THE TREE PROTECTION ZONE AND PERMITTED, THE WORK SHALL BE DONE UNDER THE SUPERVISION OF THE PROJECT ARBORIST WITH PRIOR APPROVAL BY THE CITY ARBORIST. IN SOME CASES, BORING OR DRILLING MAY BE REQUIRED. WHERE GRADING IS APPROVED, THE NATURAL TOPOGRAPHY SHALL REMAIN AS UNDISTURBED AS POSSIBLE.
7. STORAGE OF ANY MATERIALS, PARKING VEHICLES OR EQUIPMENT, FUELING AND OTHER ACTIONS DETRIMENTAL TO THE CONDITION OF THE TREE ARE NOT ALLOWED WITHIN THE TPZ.
8. ALL STREET TREES SHALL BE WATERED REGULARLY THROUGHOUT THE CONSTRUCTION PROCESS PER PROJECT ARBORIST'S RECOMMENDATIONS.
9. ALL WORK WITHIN THE DRIPLINE OF A CITY TREE OR A PRIVATE PROTECTED TREE SHALL BE SEPARATELY PERMITTED AND SUPERVISED BY AN ISA CERTIFIED ARBORIST WHO SHALL MAKE RECOMMENDATIONS TO MINIMIZE THE IMPACT OF APPROVED WORK ON THE TREES.
10. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR ANY DAMAGE TO THE CITY TREES ASSOCIATED WITH THE PROJECT. ACCIDENTAL OR NEGLIGENT ACTIONS THAT DAMAGE CITY TREES MAY RESULT IN A PENALTY. THE MONETARY VALUE OF ANY SUCH DAMAGES WILL BE APPRAISED BY THE CITY URBAN FORESTER OR HIS AUTHORIZED REPRESENTATIVE AND SHALL BE EXPRESSED AS THE MONETARY EQUIVALENT OF ALL LABOR AND MATERIALS REQUIRED TO BRING THE TREE IN QUESTION TO A STATE OF COMPARABLE UTILITY WITH REGARDS TO ITS CONDITION AND FUNCTION PRIOR TO THE BEGINNING OF THE PROJECT.

LEGEND



MANHOLE	○
DRAIN INLET	○
WATER LINE	—
SEWER LINE	—
GAS LINE	—
FIRE HYDRANT	○
WATER VALVE	○
SEWER CLEAN OUT	○
WATER METER	○
FIRE DEPT. CONNECTION	○
EDGE OF PAVEMENT	—
BACK FLOW PREVENTER	○
CONCRETE CURB	—
SPOT ELEVATION	○
PARKING LIGHT	○
PULL BOX	○
GAS VALVE	○
UTILITY POLE	○
GAS METER	○
OVER HEAD WIRE	—
UTILITY POLE W/200'	○
PUBLIC STREET LIGHT	○
SIGN	○
FENCE	—
WALL	—
GUARD POST	○
TREE	○
VAULT	○
TRANSFORMER	○
LANDSCAPE LIGHTING	○




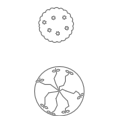

Site Plan - 1" = 20'











Site plan based on survey information provided by JTS Engineering Consultants, dated 11/30/15.

Owner	Dan Alweis
Designed	JD/AS
Drawn	AS
Date	07/18
Site Plan	
Sheet	C1.1

TREES	BOTANICAL NAME / COMMON NAME	CONT.	WATER USE	QTY
	PHOENIX CANARIENSIS / CANARY ISLAND DATE PALM	15 GAL	LOW / MED	21
	PISTACIA CHINENSIS 'KEITH DAVEY' / KEITH DAVEY CHINESE PISTACHE	15 GAL	MED	10
	ZELKOVA SERRATA 'GREEN VASE' / GREEN VASE ZELKOVA	15 GAL	LOW	6
	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	15 GAL	LOW	2
	UMBELLULARIA CALIFONICA / CALIFORNIA BAY	15 GAL	LOW	9
	LAGERSTROEMIA INDICA X L. FAUREI CLONES / CRAPE MYRTLE	15 GAL	LOW	4
	VACHELLIA FARNESIANA / SWEET ACACIA	15 GAL	MED	8
	SOPHORA JAPONICA / JAPANESE PAGODA TREE (CHINESE SCHOLAR TREE)	15 GAL	LOW	1
	ACER JAPONICUM / JAPANESE MAPLE	15 GAL	MED	1
	CERCIS OCCIDENTALIS / WESTERN REDBUD	15 GAL	LOW	4

SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	HxW	WATER USE	QTY
	PERITOMA ARBOREA / BLADDER POD	1 GAL	6' X 6'	VERY LOW	15
	DASYLIRION SPP. / DESERT SPOON	1 GAL	4' X 4'	VERY LOW	12
	DENDROMECON HARFORDII / ISLAND BUSH POPPY	1 GAL	6' X 6'	VERY LOW	14
	NANDINA DOMESTICA 'FIRE POWER' / FIREPOWER NANDINA	1 GAL	3' X 3'	LOW	19
	LUPINUS EXCUBITUS / GRAPE SODA LUPINE	1 GAL	3' X 3'	VERY LOW	29
	MUHLENBERGIA RIGENS / DEER GRASS	1 GAL	4' X 3'	LOW	11
	BERBERIS PINNATA / CALIFORNIA HOLLY GRAPE	1 GAL	5' X 6'	LOW	9
	AGAVE AMERICANA / AGAVE AMERICANA	1 GAL	6' X 6'	LOW	5

SHRUBS	BOTANICAL NAME / COMMON NAME	CONT.	WATER USE	QTY
	ROSA / ROSE (VARIOUS VARIETIES TBD)	1 GAL	LOW	43
	TRACHELOSPERMUM JASMINOIDES / STAR JASMINE	1 GAL	LOW	34

FRUIT TREES	BOTANICAL NAME / COMMON NAME	CONT.	WATER USE	QTY
	PERSEA AMERICANA / AVOCADO	15 GAL	LOW / MED	1
	CITRUS MAXIMA/ PUMMELO	15 GAL	MED	1
	CITRUS x SINENSIS/ SWEET ORANGE	15 GAL	LOW	1
	CITRUS LIMON / LEMON	15 GAL	MED	1
	CITRUS AURANTIFOLIA / KEY LIME	15 GAL	MED	1
	FICUS CARICA / YELLOW LONG NECK FIG	15 GAL	MED	1
	DORSTENIA FICUS / BLACK MISSION FIG	15 GAL	MED	1
	PRUNUS ARMENIACA / MOORPARK APRICOT	15 GAL	MED	1
	PRUNUS PERSICA / HARVESTER PEACH	15 GAL	MED	1
	PRUNUS SALICINA / SANTA ROSA PLUM	15 GAL	MED	1

Catalonia Palms Assisted Living Facility
245 Eleanor Ave.
Sacramento, CA

Owner
Dan Alweiss

Revisions	Sym	Description	Date	By

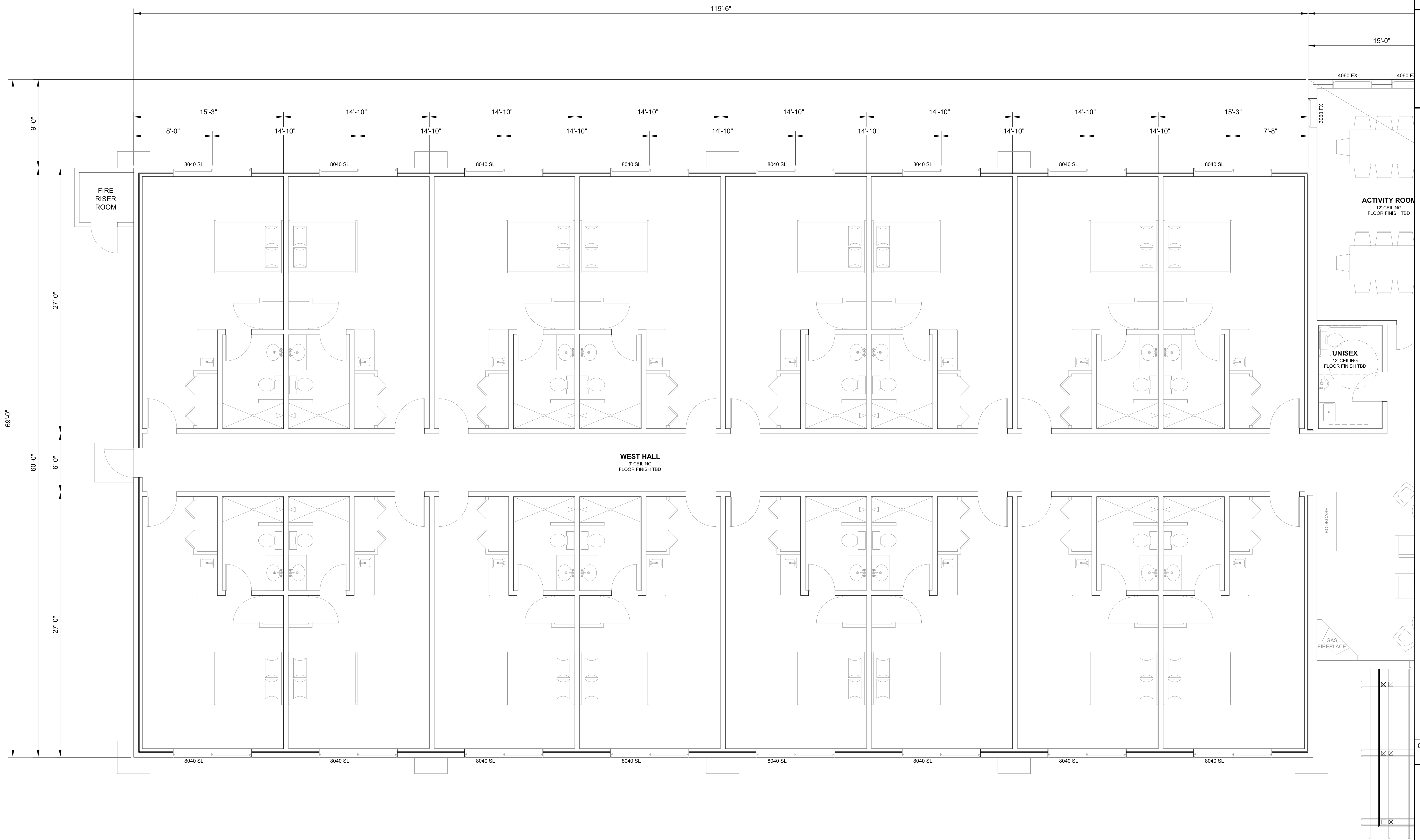
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Drawn MB

Date 07/18

Plant Legends

Sheet
L1.2



Catalonia Palms Assisted Living Facility
 245 Eleanor Ave.
 Sacramento, CA

Owner
 Dan Alweiss

Revisions	By	Date	Description

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 JD/AS

Drawn
 AS

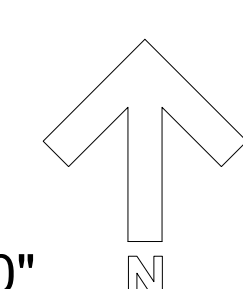
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Floor Plan

Sheet

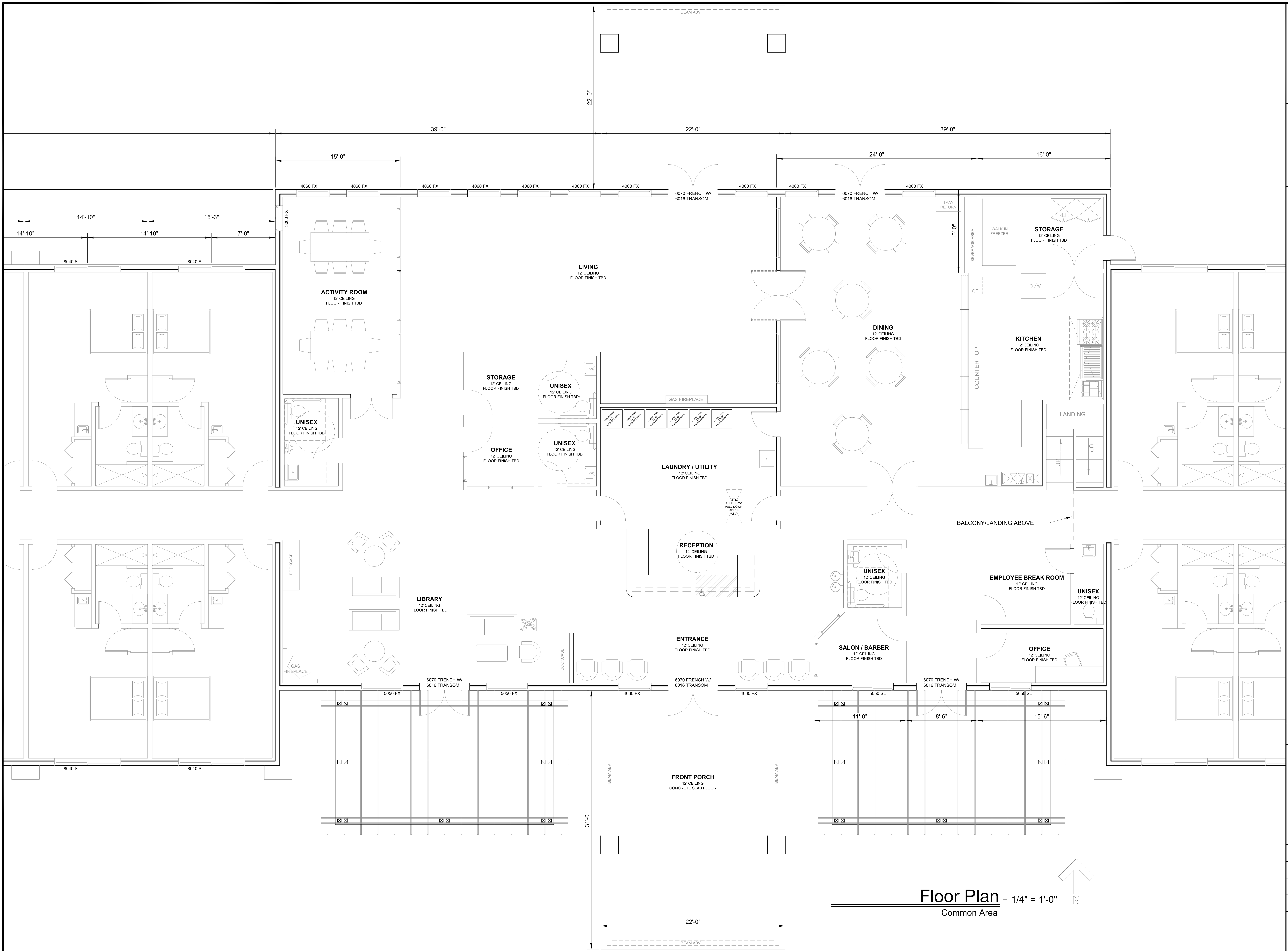
A2.1A

Floor Plan - 1/4" = 1'-0"
 Resident Area: West Wing



Catalonia Palms Assisted Living Facility

245 Eleanor Ave.
 Sacramento, CA



Owner
 Dan Alweiss

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Designed
 JD/AS

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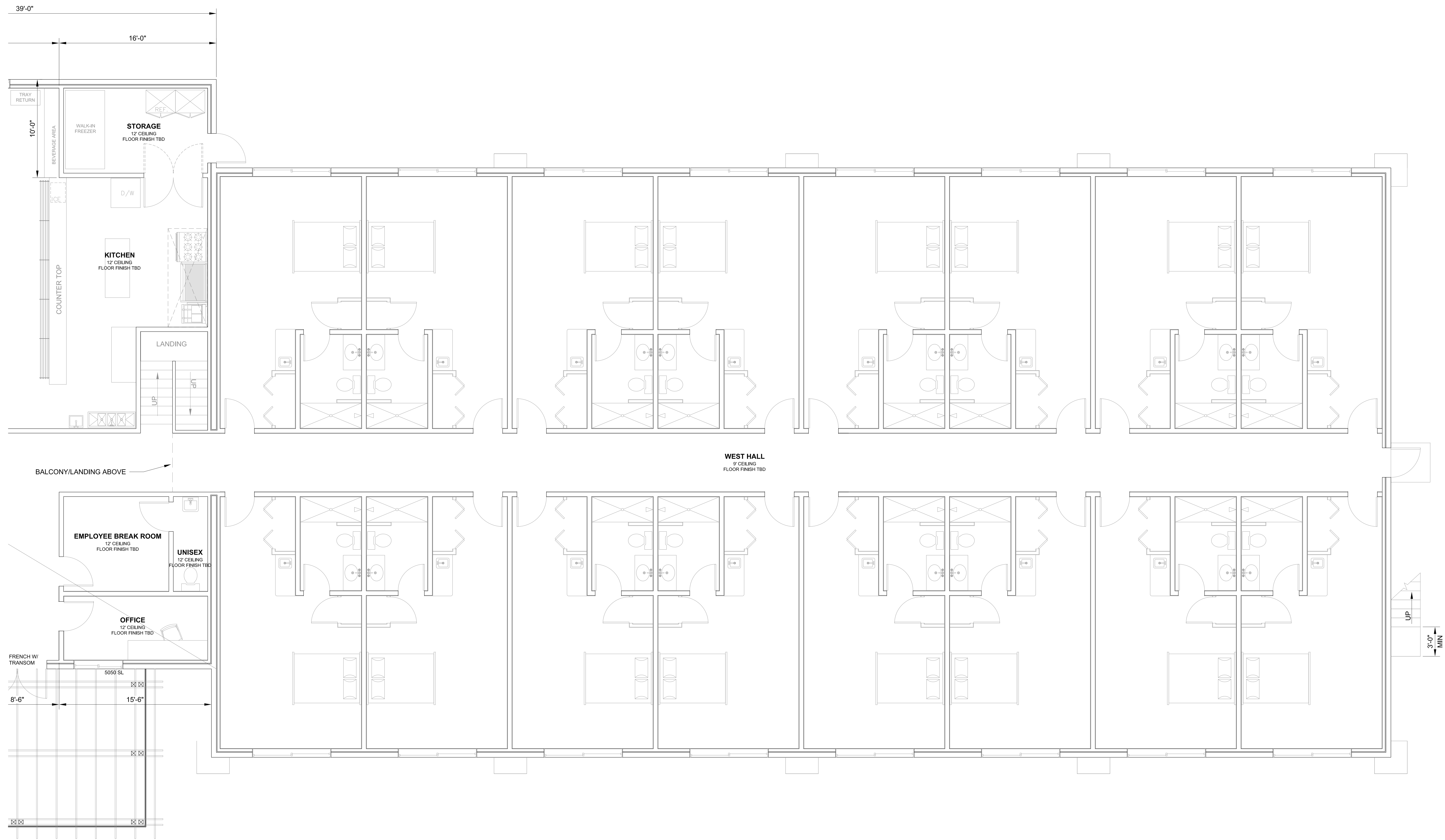
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Floor Plan

Sheet

A2.1B

Catalonia Palms Assisted Living Facility
 245 Eleanor Ave.
 Sacramento, CA



Floor Plan - 1/4" = 1'-0"
 Resident Area: East Wing

Owner Dan Alweis

Revisions	By	Date	Description

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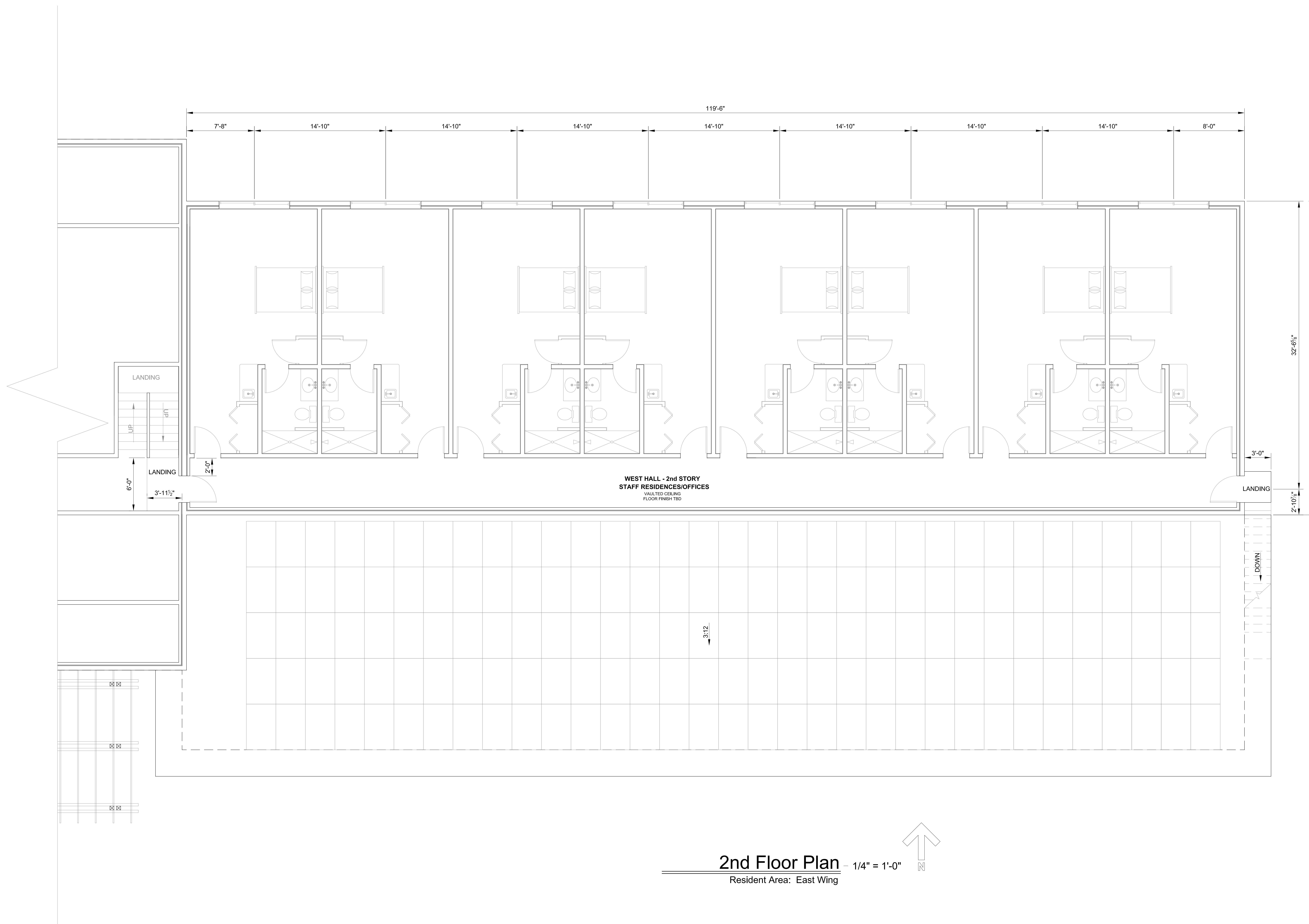
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Date 07/18

Floor Plan

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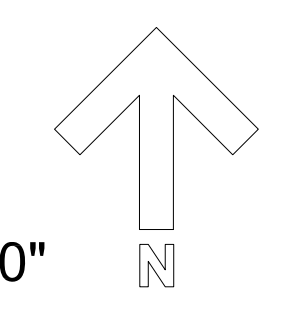
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WEST HALL - 2nd STORY
STAFF RESIDENCES/OFFICES
 VAULTED CEILING
 FLOOR FINISH TBD

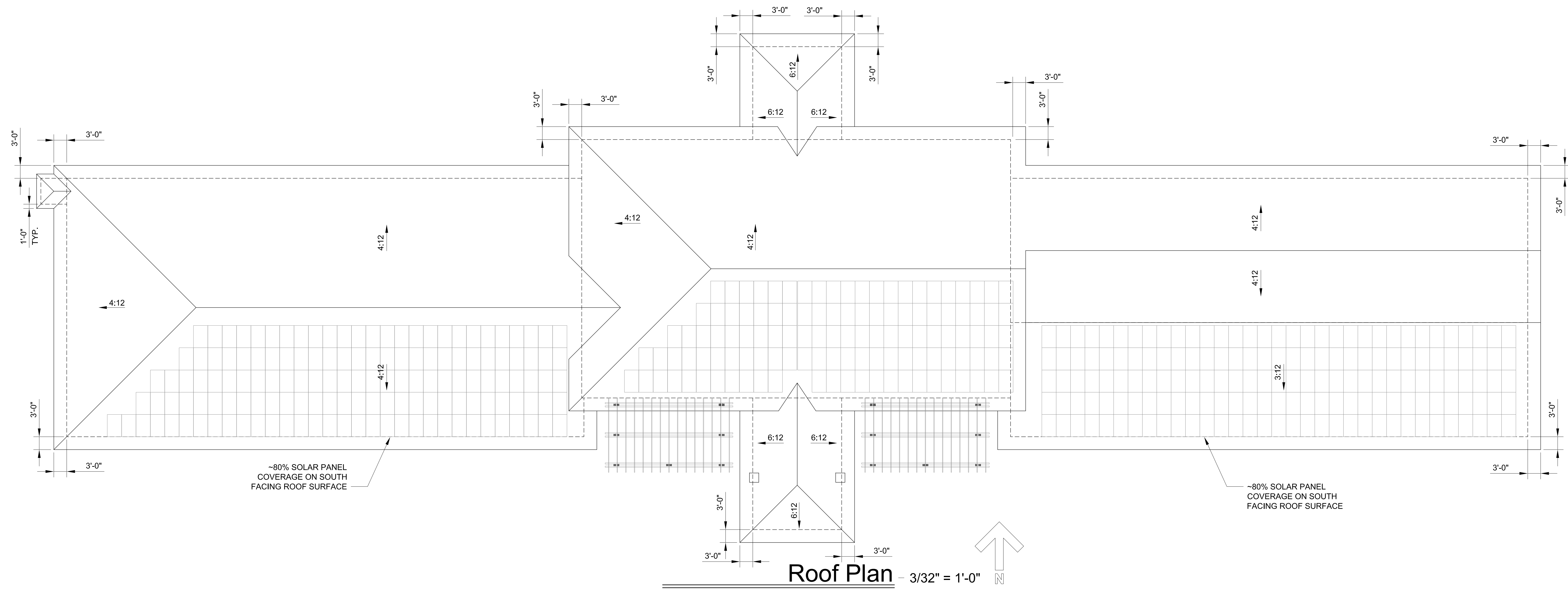
3:12

2nd Floor Plan - 1/4" = 1'-0"
 Resident Area: East Wing



Owner		Dan Alweiss	
Revisions	By		
	Date		
	Description		
Designed		JD/AS	
Drawn		AS	
Date		07/18	
Floor Plan			
Sheet			
A2.2			

Catalonia Palms Assisted Living Facility
 245 Eleanor Ave.
 Sacramento, CA



Owner
 Dan Alweiss

Revisions	Sym	Description	Date	By
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Designed
 JD/AS

Drawn
 AS

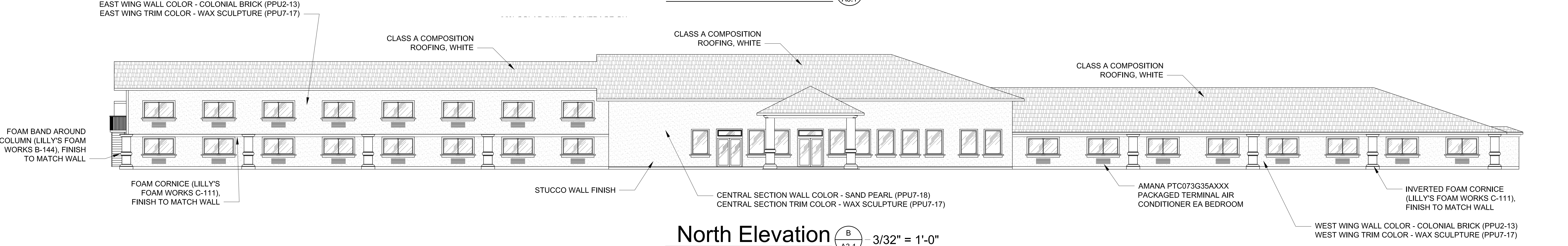
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Roof Plan

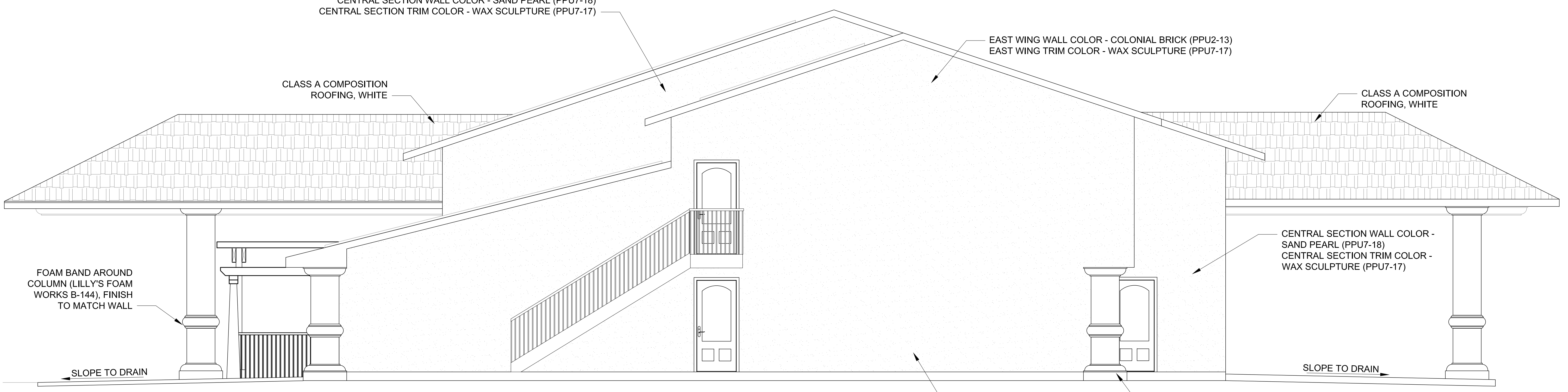
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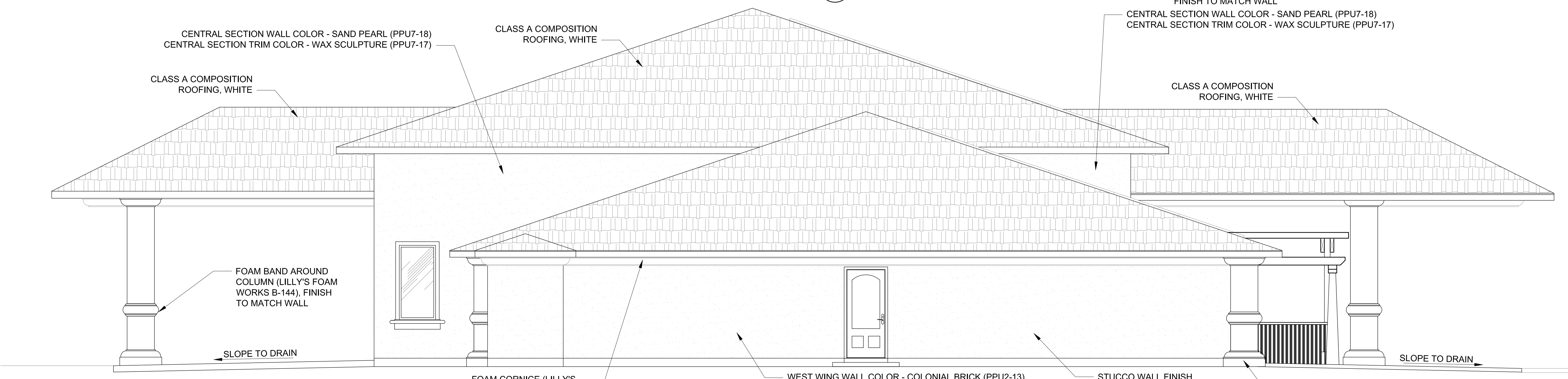
South Elevation $\frac{3}{32}'' = 1'-0''$



North Elevation $\frac{3}{32}'' = 1'-0''$



East Elevation $\frac{1}{4}'' = 1'-0''$



West Elevation $\frac{1}{4}'' = 1'-0''$

Owner	Dan Alweiss
By	
Date	
Revisions	
Design	JD/AS
Drawn	AS
Date	07/18
Elevations	